



CHANGE OF USE-FITOUT & OCCUPATION FOR A
JUICE SHOP - HOUSE OF JUICE

@ 1420 CANTERBURY ROAD
PUNCHBOWL NSW

FOR APPROVAL PURPOSE ONLY			<div>DISCLAIMER</div> <div><p>* All work to be carried out in accordance with the Building Code of Australia, All Local and State Ordinances relevant Australian Standards, local electricity, Water Regulations and all other relevant Authorities concerned.</p><p>* All structural and site drainage to be subject to Engineers details or certification where required by the PCA</p><p>* This shall include R.C.Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings etc., driveway slabs & drainage to the PCA's satisfaction.</p><p>* All work to be carried out in a professional & workmanship manner according to the plans and specification.</p><p>* Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.</p><p>* All dimensions & levels are subject to final survey and set out, all dimensions are to be checked & verified on site before the commencement of work.</p><p>* The Design Scheme (drawings documents information) contained within this set have been prepared by Talpe Wijesinghe (TW) purely for the purpose of providing information about potential design schemes. The information should not be considered to be error free or to include all relevant data.</p><p>* Nothing in this report in any way comprises advice or a representation by Talpe Wijesinghe (TW) nor does the transmission or sending of these materials create any contractual obligations.Talpe Wijesinghe (TW) nor any of his employees, agents or contractors, will be liable for any direct or indirect loss/damage you may suffer or incur arising directly or indirectly from the use of any materials or information from this report. Talpe Wijesinghe (TW) retains copyright and all present and future moral rights in all intellectual property in all the materials authored by it and in any works executed from these drawings and documents.</p></div>			
FOR REVISIONS						
Status	Issue	Date	<div>Project Name: Change of use, fitout & occupation for a Juice shop</div> <div>Client: House of Juice</div> <div><div>Site:1420 Canterbury Road Punchbowl NSW</div><div>LOT 03DP 513537</div></div> <div>Drawing Title COVER PAGE</div> <div><div>Scale: N T S</div><div>Date: 18 / 10 / 2022</div><div>Checked: T. W.</div><div>Authorised:</div></div>			
DRAWING ORIGINAL SIZE A3			<div>Designers / Drafters Talpe Wijesinghe <small>REGISTERED ARCHITECT (NSW) (1994) (1995) (1996)</small> OVERSEAS BRANCH</div> <div><div>Owner / Building Designer/ Drafter</div><div>TWspaces - Architectural Consultancy & drafting</div><div>AutoCAD lecturer (City & Guilds - UK)</div></div> <div>2/78-84 Old Northern Road Baulkham Hills NSW 2153</div> <div><div>LAND 96393521</div><div>MOB 0450754577</div><div>ABN 40588534389</div><div>ASIC Registered</div><div>twspaces@gmail.com / info@twspaces@gmail.com</div></div> <div><div>CPW Associates</div><div>Phone +94112607486</div></div> <div><div>CONTACT +616</div><div>1311-17 -Building Designers Association of Australia</div><div>http://www.facebook.com/Twspaces/</div><div>www.linkedin.com/in/TWspaces</div></div> <div><div>CPW</div><div>ARCHITECTS</div></div> <div><div>TW</div><div>spaces</div></div>			
			<div>North Point</div> <div>Job No; HJ/1/22</div> <div>Drawing No; DR001</div> <div>Sheet No; 01</div>			

NOTES

All work to be done in conjunction with the working drawings, this specification and engineer's details if required.
Items not shown on drawings or in the specification but required to obtain a workman like finish are to be allowed for as part of the contract.
All work is to be in accordance with the Building Code of Australia, Local government requirements and all other relevant authorities.
The builder is to arrange and pay for all inspections, approvals etc. as may be required by the authorities concerned. Excepting amplification of electrical power major sewer extensions and water amplification.
Builder is to insure against public risk as is required by the Workers Compensation Act of NSW.
Builder is to check all dimensions, levels etc. prior to any works proceeding.
Figured dimensions take preference to scale.
Unless otherwise noted the builder shall provide a defects liability period of three months.
Builder is to provide for himself and his workers on site amenities as may be required unless other arrangements have been made with the owners or the local authorities.
WORKMANSHIP
Execute all work in the best and most tradesman like manner to the satisfaction of the superintendent or building inspector.
Remove all waste items after completion of works.

EXCAVATION

Excavate the site as required for dwelling / addition.
Additional surplus soil to be stored on site for future use.

PEST CONTROL as per AS3660.1

1. Monolithic Slab.
- Min 75mm of Slab edge exposed below 1st course of brickwork.
- Crushed granite "Granitgard" on all penetrations.
2. Suspended Floor.
- Install a barrier system in accordance with BCA Part 3.1.3 Table 3.1.3.
- Provide sub-floor ventilation in accordance with BCA Part 3.4.1.
- Where a barrier that needs to be inspected is installed,provide access to the area of the barrier that needs inspection in accordance with AS3660.1
CARPENTER
Erect both wall and floor frames as shown on plans.
If roof trusses are supplied install to manufactures written instructions. In accordance with clause 3.4.3.6.BCA96 or AS1684

WINDOWS - as per AS2147 / AS2048 / AS1288

Refer plans for all window sizes, locations and material type. Flash heads and sills as required.
Provide all storm moulds, architrave's and trims as required.
Windows to depth of 1,500mm to be 6mm toughened glass.
Window colour and glass type to be determined by owner.
Allow min of 15mm clearance between architrave and bottom of head for deflection.

ROOFER - METAL ROOF

Provide corrugated steel roof to entire roof area as required. All necessary accessories to be provided and the roof is to be adequately birdproofed. Sheets to be fixed with 45mm non corrosive hex head self drilling screws fitted with neoprene ceiling washers to every alternate corrugation at ends and every fourth corrugation immediately. All hips and ridges to be covered with screws and washers. Where pitch of roof is less than 1:4.5 minimum a material having effective vapour barrier and thermal insulation qualities is to be fixed to the underside of ceiling joists where a level surface is to be provided. Where the ceiling is to follow the pitch of the rafters, irrespective of the pitch of the roof, the vapour/thermal barrier is to be fixed to the underside of the rafters.

LEAD FLASHING NOT TO BE USED WITH ZINCALUME STEEL.

PLUMBER, DRAINER

Provide colourbond Fascia and Gutter to all eaves as shown. Fix as per manufacturer's details.
Provide colourbond barge and barge capping to all gables fix as per manufacturer's details.
Provide 100 x 50 Colourbond down pipes as shown on plans and connect to storm water

All pipe work internal and external to be copper.
Supply and install all required taps and fixtures to complete the job. Externally provide 2 brass tap fittings.

SEWER DRAINER

Sewer lines to be 100mm PVC all jointed using approved adhesive min 300mm below ground level with a min 1:75 fall. Storm water lines to be min 90mm PVC with 1:100 fall.
Keep all lines a min of 600mm away from foundations. Provide all required cleaning eyes and inspection openings. All work to be inspected and approved by both council as well as water board and certificates of compliance given to builder/owner.
AGG lines to be generally 100mm dia laid in 10mm blue metal.

ELECTRICIAN - in accordance with AS3000 / AS3006

Supply and install all power points and light points as per plans as directed by owner/builder.
All work is to be carried out in accordance to the SAA wiring rules.
All materials shall be first quality and installed in a workmanlike manner. All fees and connection charges shall be applied for and paid. Certificate of compliance shall be provided to owner/builder.
The switch board shall be applied for shall be of circuit breaker type conforming to current standards.
Power circuits 15 amp
Light circuits 10 amp
Main switch 100 amp
Install smoke detectors as per AS3786 and in accordance to E 1.7 of the building code.
EXTERNAL LININGS

Clad the external of dwelling or areas nominated as such using ship lapped AC boarding.
Fix directly to studs using galv clouts or approved fixings as recommended by manufacturer.
Sheets to be lapped a min of 25mm

INTERNAL LININGS - as per AS3740

All internal surfaces unless nominated on plans to be gyprock lined.
Board thickness as followswalls 10mm
Allow a period of 9 days after frame erection prior to gyprock installation for frame stabilisation.
.....ceilings 13mm or 10mm superceil

twisting of timbers.
Boards are to be both clout and glue fixed to timbers. Clouts are to be galv 30mm long driven just below paper skin.
Provide paper tape to all joints and plaster set.
Sand between plaster coats and allow a min of 2 coats plaster and 1 coat final skim coat.
Sand and leave ready for painting.
All arches and exterior edges to be steel trim fixed and finished as above.

JOINER

All timbers shall comply with the appropriate standards.
All frames to be mitred and scribed, fitted and joined together with linings, mouldings and trims.
All surfaces to be left ready for painting.
External doors 2040 x 820 x 40 as selected - as per AS109 / AS2588 / AS2689
Laundry doors 2040 x 820 x 40 flush panel - as per AS109 / AS2588 / AS2689
Internal doors 2040 high Refer plans for width
Skirting 50 x 19 custom wood or as selected by builder
Man Hole Fit 600 x 600mm access hole in roof

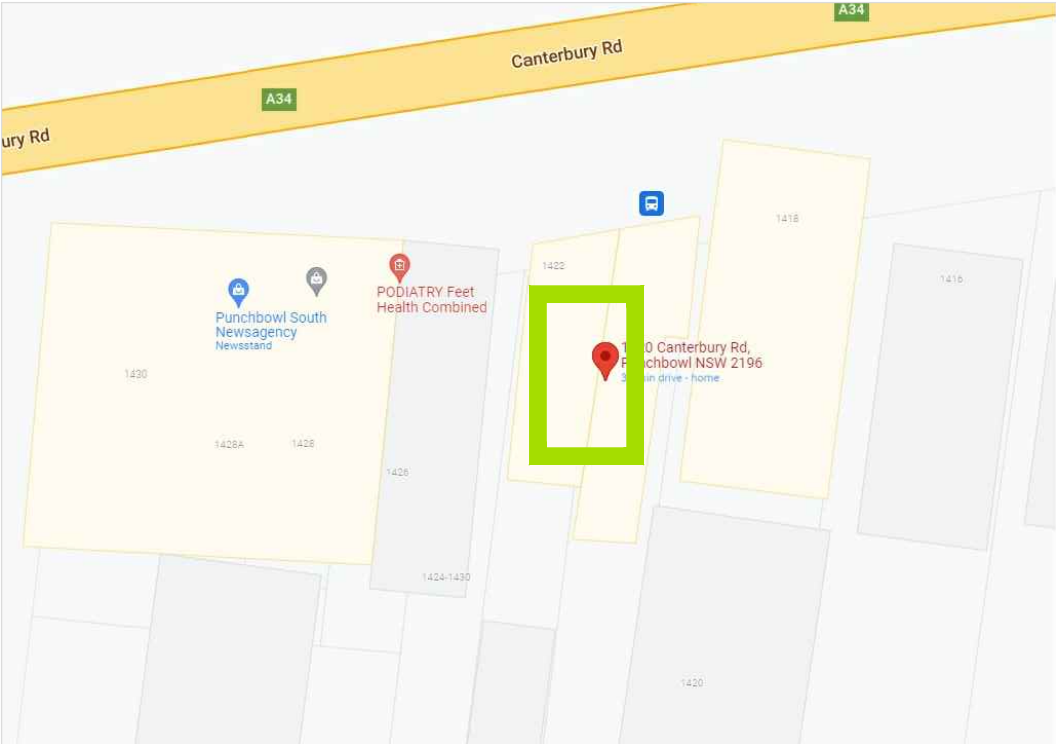
PAINTER

Prior to any work check and fill all voids.
Check and sand all plaster and wood work if not yet so.
Apply all primers to both internal and external surfaces as appropriate for material.
Internal surfaces to receive min two coats of selected acrylic paint.
External paints to be acrylic with 2 finish coats.

COMPLETION

At completion of all works builder to clean site and dwelling of all rubble.
Test and check all doors, windows etc. for proper operation.
Plane and allow for all door clearances as may be required.
Council final inspection to take place and all defects rectified and all conditions complied with.
Hand over all certificates and warranties as held to owner.

DRAWING SCHEDULE		
COVER PAGE	SHEET 01	DRA 001
LOCATION PLAN & NOTES	SHEET 02	DRA 002
PHOTOS & SITE PLAN	SHEET 03	DRA 003
EXISTING LAYOUT PLAN	SHEET 04	DRA 004
EXISTING / PROPOSED FIRE SAFETY	SHEET 05	DRA 005
FRONT ELEVATION	SHEET 06	DRA 006



Location Plan
Scale NTS

Location

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Status	Issue	Date	* This shall include R.C.Slabs & footings & steel beams and columns, wind bracing to AS 1170 & AS 4055 anchor rods or bolts, tie downs, fixings etc., driveway slabs & drainage to the PCA's satisfaction.				Site: 1420 Canterbury Road Punchbowl NSW				15 Kent Street Baulkham Hills NSW 2153 0450754577				AAAS1109 - Australian Architecture Association (AAA) CAB0708 - SISA 2211 - 17 - Building Designers Association of Australia			
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DRAWING ORIGINAL SIZE A3															HJ/1/22			
															DRA002			
															02			



site photos

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<div>Status</div> <div>Issue</div> <div>Date</div>			<div>Drawing Title</div> <div>SITE PHOTOS / SITE PLAN</div>				<div>Scale:</div> <div>1:1000</div> <div>Date:</div> <div>18 / 10 / 2022</div> <div>Checked:</div> <div></div> <div>Authorised:</div> <div></div>				<div>AS INDICATED</div>											
<div>DRAWING ORIGINAL SIZE A3</div>																						

Upright fridge / bottle cooler
500 x 500 x 1800

Upright fridge / bottle cooler
600 x 680 x 1800

Upright fridge / bottle cooler
600 x 680 x 1800

Indoor 01 table
& 02 sofas

Intertenancy wall to be retained

Existing Entry door
2150 mm x 850 mm

Existing Non-slippery
floor tiles

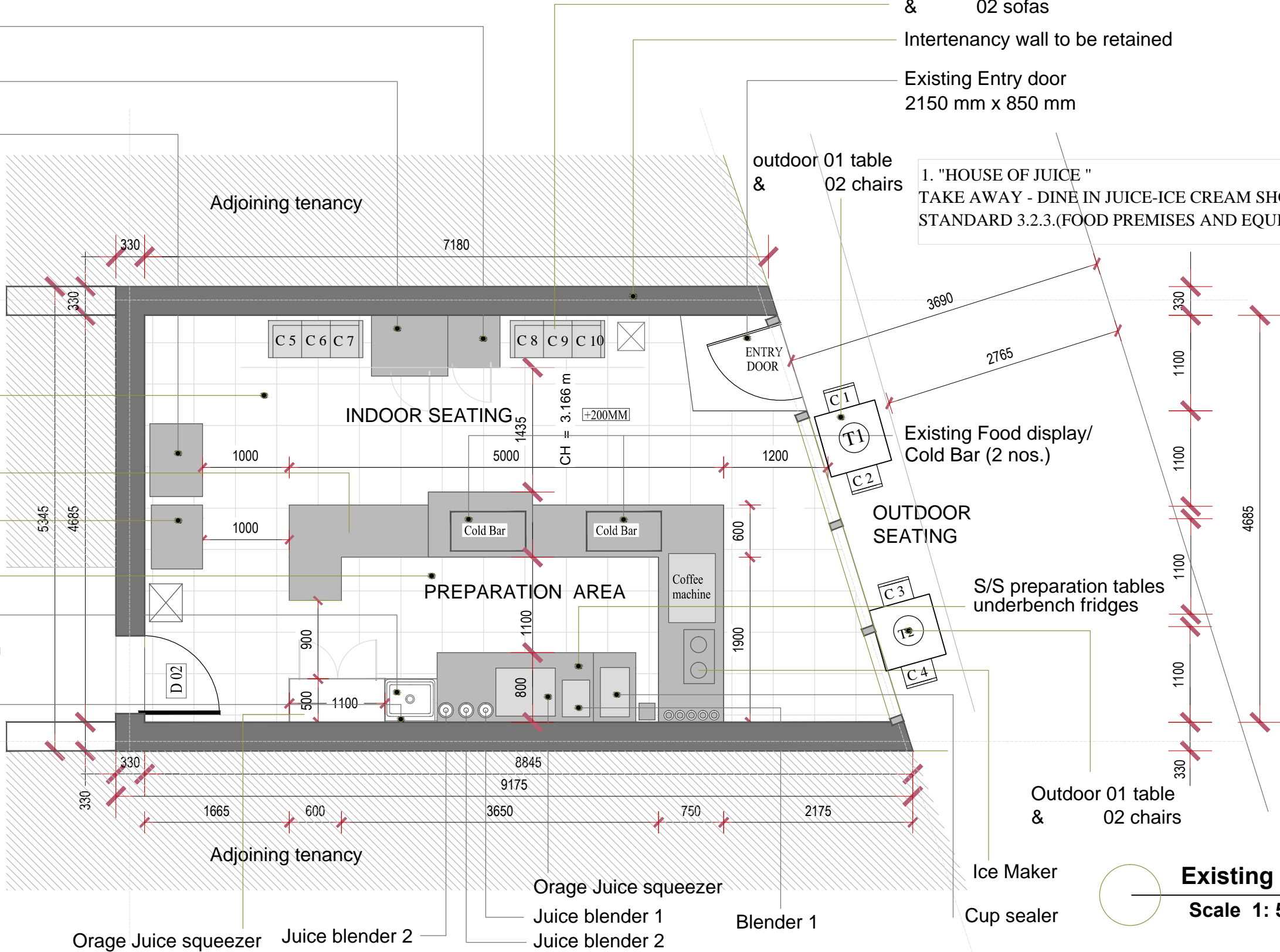
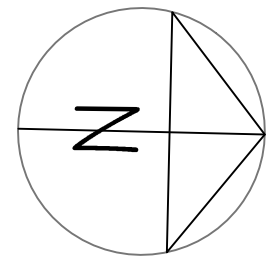
POS counter area

Upright fridge / bottle cooler

Existing Non-slippery
floor tiles



Existing Stainless steel
kitchen sink 600mm x 500mm

Existing s/s splash back with
(white color)



1. "HOUSE OF JUICE "
TAKE AWAY - DINE IN JUICE-ICE CREAM SHOP IS BASED ON THE FOOD SAFETY
STANDARD 3.2.3.(FOOD PREMISES AND EQUIPMENT)

Existing Layout Plan
Scale 1: 50

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			<div>DP 513537</div>												
<div>Drawing Title</div> <div>EXISTING LAYOUT PLAN</div>				<div>North Point</div>				<div>Job No;</div> <div>HJ/1/22</div>		<div>Drawing No;</div> <div>DRA004</div>		<div>Sheet No:</div> <div>04</div>			
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<div>DRAWING ORIGINAL SIZE A3</div>															

SELF CONTAINED -MAINTAINED LUMINARE EXIT SIGN TO AS. 2293.1 EQUAL BROOKS BA-EX4LEDQ. 4W LED

SELF CONTAINED -MAINTAINED LUMINARE DIRECTIONAL EXIT SIGN TO AS. 2293.1 EQUAL TO BROOKS BA-EX4LEDQ. 4W LED

EMERGENCY LIGHT. EQUAL TO BROOKS BA-SP3LED 3W LID SPITFIRE

2 X 28 WATT FLUORESCENT BATTEN C/W WIRE GUARD AND EMERGENCY SUSTAINED MODE

PHOTO OPTICAL SMOKE DETECTOR TO AS1670.1 EQUAL TO PANASONIC 4301 (BY BROOKS)

PHOTO ELECTRIC SMOKE ALARM TO AS3786,EQUAL TO BROOKS EIB 146

PHOTO ELECTRIC SMOKE ALARM TO AS3786,EQUAL TO BROOKS EIPFSPTLH

FIRE INDICATION PANEL EQUAL TO FIRETRACKER 128 + BOWS + MCP

THERMAL DETECTOR TO AS1670.1, EQUAL TO PANASONIC 3308 (BY BROOKS)

CELING MOUNTED BOWS SPEAKER, 1 WATT MINIMUM EQUAL TO BROOKS BASPEAK 1

HORN TYPE BOWS SPEAKER, 5 WATT MINIMUM, EQUAL TO BROOKS BAHORN

STROBE

ADDRESSABLE MANUAL CALL POINT EQUAL TO PANASONIC 3333 (BY BROOKS)

SMOKE ALARM ISOLATOR SWITCH EQUAL TO BROOKS BAAISO

EXIT

EX. FW

EF

FIRE DOOR SELF CLOSING -/60/30 CI.F1.11

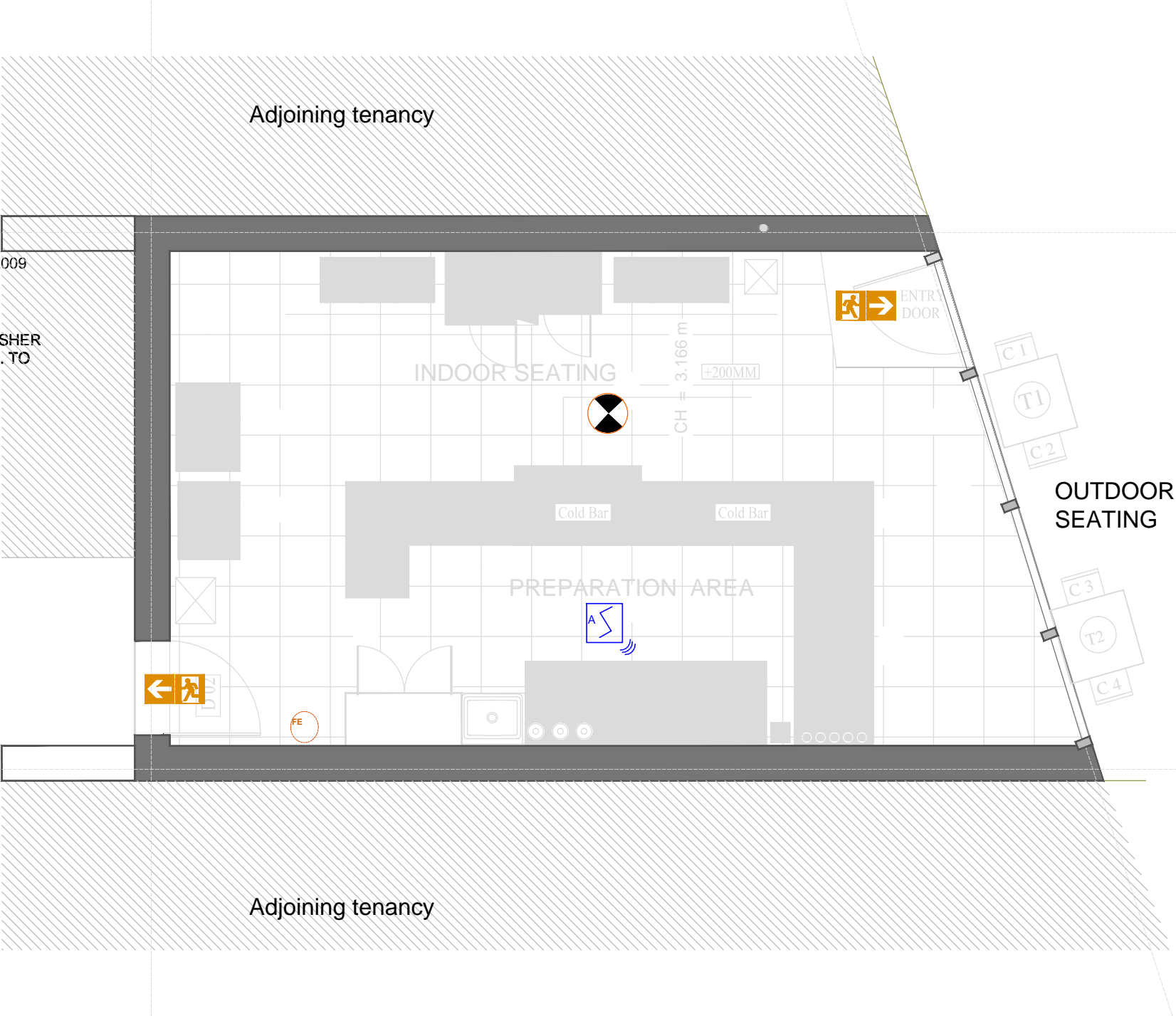
DISABLE SIGN AS 1428.1 2009 BCA CI.D3.6

STREET HYDRANT

PORTABLE FIRE EXTINGUISHER BCA C1.E1.6 (DETAILS REF. TO DRAWINGS BY BUILDING SERVICES ENGINEERS)

FIRE HOSE REEL BCA C1.E1.4(DETAILS REF. TO DRAWINGS BY BUILDING SERVICES ENGINEERS)

N



Existing Fire Safety

Scale 1: 50

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DRAWING ORIGINAL SIZE A3			Scale:	Date:	Checked:	Authorised:	AS INDICATED		HJ/1/22		DRA005		05											
			1:1000	18 / 10 / 2022																				

